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44/2018/0855

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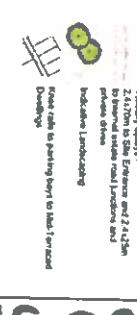
Ref	Description	Date
A	Approved by the local authority with Planning (DPA) & Highways Department	12/04/18
B	The final plan & general layout arrangements	12/04/18
C	Approved by the local authority with Planning (DPA) & Highways Department	10/04/18
D	Approved by the local authority with Planning (DPA) & Highways Department	30/03/18
E	Approved by the local authority with Planning (DPA) & Highways Department	27/11/18
F	Approved by the local authority with Planning (DPA) & Highways Department	06/12/18
G	Approved by the local authority with Planning (DPA) & Highways Department	28/12/18
H	Approved by the local authority with Planning (DPA) & Highways Department	22/12/18

Area	Area (sqm)	Area (sqft)	Volume (cu m)	Volume (cu ft)
1.00	100.00	1076.41	100.00	3531.47
2.00	200.00	2152.82	200.00	7062.94
3.00	300.00	3229.23	300.00	10594.41
4.00	400.00	4305.64	400.00	14125.88
5.00	500.00	5382.05	500.00	17657.35
6.00	600.00	6458.46	600.00	21188.82
7.00	700.00	7534.87	700.00	24720.29
8.00	800.00	8611.28	800.00	28251.76
9.00	900.00	9687.69	900.00	31783.23
10.00	1000.00	10764.10	1000.00	35314.70

Key:

- Site boundary
- 1.5m high boundary fence
- 1.2m high wall & 0.7m fence
- 1.5m high screen wall / fence
- Private Driveway

Ref	Code	Area (sqm)	Area (sqft)	Volume (cu m)	Volume (cu ft)
1	1.00	100.00	1076.41	100.00	3531.47
2	2.00	200.00	2152.82	200.00	7062.94
3	3.00	300.00	3229.23	300.00	10594.41
4	4.00	400.00	4305.64	400.00	14125.88
5	5.00	500.00	5382.05	500.00	17657.35
6	6.00	600.00	6458.46	600.00	21188.82
7	7.00	700.00	7534.87	700.00	24720.29
8	8.00	800.00	8611.28	800.00	28251.76
9	9.00	900.00	9687.69	900.00	31783.23
10	10.00	1000.00	10764.10	1000.00	35314.70



MACBRYDE HOMES

Macbryde Homes Limited,
 Macbryde House, Unit 26,
 St. Asaph Business Park,
 Ffordd Richard Davies, St. Asaph,
 Denbighshire, LL17 9UL,
 Tel: 01745 536677
 Fax: 01745 536688

Site: Tifonia, Rhuddlan

Proposed Site Plan

Scale: 1:500 @ A1

Date: 09.05.18

Ref: MRH-SP01

Rev: H

PROPOSED SITE LAYOUT PLAN



INDICATIVE STREET-SCENE - MELDEN ROAD FRONTAGE - PLOTS 1, 2, 15, 56-63 & 70 - NOT TO SCALE
 NOTE - Existing landscaping to site boundary removed for clarity. Indicative proposed landscaping shown



SITE LAYOUT - 1:500

<p>Macbryde Homes Limited, Macbryde House, Unit 28, St. Asaph Business Park, Florida Richard Davies, St. Asaph, Denbighshire, LL17 0LJ Tel: 01245 536677 Fax: 01245 536688</p>	
Site:	Tirionfa, Rhuddlan
Label:	Indicative Street-Scene
Scale:	As Noted
Date:	07.02.19
Ref:	MRH-SS-01

WARD : Rhuddlan

WARD MEMBERS: Cllr Ann Davies (c)
Cllr Arwel Roberts

APPLICATION NO: 44/2018/0855/ PR

PROPOSAL: Details of access, appearance, landscaping, layout and scale of 99 dwellings submitted in accordance with condition number 1 of outline permission code 44/2015/1075 (reserved matters application)

LOCATION: Land east of Tirionfa Rhuddlan Rhyl

APPLICANT: Macbryde Homes Ltd

PUBLICITY UNDERTAKEN: Site Notice - Yes
Press Notice - Yes
Neighbour letters - Yes

REASON(S) APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2

- Recommendation to grant / approve – 4 or more objections received
- Recommendation to grant / approve – Town / Community Council objection

CONSULTATION RESPONSES:

RHUDDLAN TOWN COUNCIL

Original response

“Objections from the Town Council:

- When looking at the aerial shot of the proposed site on Google Maps, the development is out of all proportion in comparison to the rest of the area. There is a long running objection to the development on these fields which will severely effect the character of the town and all its facilities. The development of this scale is simply not appropriate for the town.
- The junior school and GP Surgery are already over-subscribed and cannot cope with increased numbers coming to Rhuddlan. As the school is located on Cadw land there is no scope of extending classrooms or having new accommodation.
- The development does not cater for local people and there are concerns about provision of affordable housing and how they will be developed as this aspect will be given to another agency to develop which may result in delays.
- We need to protect our green space from large scale developments as they are eroding precious green open space and the environment
- There has been no consideration of including sheltered housing provision for older people.
- What effect will this development have on the 30mph limit outside the golf course? The proposed Tirionfa Development will inevitably be increase traffic along this road.
- There has been no river survey. The fields are extremely wet fields and the current system of drains is not able to cope with leaves and detritus from years of neglect.

- The sewer works in Rhuddlan requires major upgrading; the current system is not capable of taking new effluent and the proposed Tirionfa Development could overload what is already an ailing system and this could lead to pollution.
- No archaeological survey has been carried out.
- The proposed children's play area which will be situated near the entrance where there will be cars continually passing by which is a safety concern.
- Questions were asked from concerned residents about space between houses and bungalows on Pentre Lane. There needs to be a buffer parcel of land, which will protect and preserve the integrity of the existing properties to the rear of Pentre Lane.
- The Town Council and residents require finer details. There are no measurements of proposed properties, reference to scale on the plan or specific distance of garden sizes to the existing rear boundary of properties on Pentre Lane, which makes it difficult to assess the real impact of the proposed development to the existing Pentre Lane properties."

Reconsultation Response:

"The Town Council appreciate that substantial changes have been made to the plans, however, there are still concerns that the infrastructure is not there to support this development.

- The sewage works need major upgrading.
- The G.P. Surgery is already over-subscribed.
- The school will be under pressure to accommodate more children.
- There are continued concerns about the increased traffic.

The overall opinion is that this development will be detrimental to the town."

NATURAL RESOURCES WALES

No objection to the proposal on grounds of protected species or flood risk.

DWR CYMRU / WELSH WATER

No objection in principle, drainage details will be subject to a separate approval of condition.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Highways Officer

No objection in principle. Suggest condition relating to highways detail for approval.

Footpaths Officer

No objection.

Ecologist

No objection.

RESPONSE TO PUBLICITY:

In objection

Representations received from:

D. Yates, 3, Tirionfa, Rhuddlan
 Pauline & David Evans, Hafod Y Gan, Pentre Lane, Rhuddlan
 Mr & Mrs E Summers, Somavern, Pentre Lane, Rhuddlan
 Brenda Taylor, 22, Kerfoot Avenue, Rhuddlan
 Mrs M A Jones, 4 Tirionfa, Rhuddlan
 M & D Parker Oaklands, Pentre Lane, Rhuddlan
 Derek Robinson, 5, Tirionfa, Rhuddlan
 Patricia Hudson, Highfield, Rhuddlan

Summary of planning based representations in objection:

Highways:

Concerns in relation to additional traffic generation.

Visual Amenity:

Development is out of keeping with the area.

Residential amenity:

Adverse impact due to proximity and scale of dwellings, no buffer zone between boundaries.

A number of 'In Principle' objections have been raised in representations, which were considered at outline planning application stage (flood risk, loss of open/green space/ agricultural land, drainage, Welsh language and culture etc). These are not matters which can now be reassessed as the Council has granted outline planning permission. The Committee can only deal with the acceptability of the particular details specified in the description of the application.

EXPIRY DATE OF APPLICATION: 17/04/2019

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

- 1.1.1 The proposal is seeking approval for reserved matters of access, appearance, landscaping, layout and scale of 99 residential units submitted in accordance with Condition 1 on outline planning permission ref 44/2015/1075/PO on land east of Tirionfa in Rhuddlan.
- 1.1.2 Outline planning permission was granted in February 2016 for the development of 3.39 hectares of land for residential development. The application was made in outline form with all matters reserved.
- 1.1.3 The main elements of the proposal are:
 - The erection of 99 detached, semi-detached and terraced houses, comprising a mix of:
 - 13 no. 2 bed houses
 - 28 no. 3 bed houses
 - 58 no. 4 bed houses
 - 21 different dwelling types, all of which are 2 storey houses – with a mix of integral garages and detached garages.
 - Provision of permeably paved off street parking spaces within each plot with private rear amenity areas for each dwelling.
 - The properties would be constructed using brick and render, with tiled roofs.
 - A main vehicular access is proposed off the A547 towards the eastern end of the site.
 - A secondary access is proposed off Tirionfa for the 7 dwellings fronting the existing Tirionfa estate road, with a bollarded 'emergency' access also shown to the northern end of these dwellings.
 - Associated boundary fencing and hard and soft landscaping.
 - Plans have also been provided indicating the provision of 10 affordable houses, 6 no. 2 bed houses (Elwy and Oakley) and 4 no. 3 bed houses (Kinnerton and Warwick).
 - Plans have also been provided indicating an area public open space and a Local Equipped Area for Play (LEAP).

- 1.1.4 Along with the plans, a number of documents have been submitted in support of the application, including:-
- * Planning, Design & Access Statement
 - * Ecological Report with Extended Phase 1 Habitat Survey
 - * Agricultural Land Assessment
 - * Arboricultural Impact Assessment
 - * Transport Assessment (with Cumulative Transport Assessment)
 - * Flood Consequences Assessment
 - * Landscape and Visual Impact Assessment

Plans illustrating the proposals are attached at the front of the report and Member's attention is drawn to the streetscene drawing, which shows the general arrangement on the main road frontage.

1.2 Description of site and surroundings

- 1.2.1 The site comprises of open agricultural land located on the eastern edge of the settlement of Rhuddlan.
- 1.2.2 The site is bounded to the south east by the A547, open fields to the north east and existing residential development on Tirionfa and Pentre Lane to the south western and north western boundaries. Rhuddlan Golf club is located to the south east across the A547.

1.3 Relevant planning constraints/considerations

- 1.3.1 The site is located within the development boundary of Rhuddlan as defined in the Local Development Plan.
- 1.3.2 The site is allocated for housing in the LDP.

1.4 Relevant planning history

- 1.4.1 Outline planning permission was granted in February 2016 for the development of 3.39 hectares of land for residential development.

1.5 Developments/changes since the original submission

- 1.5.1 Since the submission of the original application minor amendments and clarification of some matters raised by consultees were sought in relation to the detailing of the scheme.
- 1.5.2 The original submission was for 100 dwellings and has been reduced to 99 dwellings.

1.6 Other relevant background information

- 1.6.1 Although the applicant indicates their intentions in relation to drainage arrangements, affordable housing, open space and education contributions, these are the subject of other planning conditions imposed on the outline planning permission. The applicant has indicated their intention to submit separate applications relating to the conditions.

2. **DETAILS OF PLANNING HISTORY:**

- 2.1 44/2015/1075 Development of 3.39 hectares of land for residential development (outline application - all matters reserved). Granted by Planning Committee 17th February, 2016

3. **RELEVANT POLICIES AND GUIDANCE:**

The main planning policies and guidance are considered to be:

3.1 Denbighshire Local Development Plan (adopted 4th June 2013)

Policy RD1 – Sustainable development and good standard design

Policy RD5 – The Welsh language and the social and cultural fabric of communities

Policy BSC1 – Growth Strategy for Denbighshire

Policy BSC3 – Securing infrastructure contributions from Development

Policy BSC4 – Affordable Housing

Policy BSC11 – Recreation and open space

- Policy VOE1** – Key areas of importance
- Policy VOE5** – Conservation of natural resources
- Policy VOE6** – Water management
- Policy ASA1** – New transport infrastructure
- Policy ASA2** – Provision of sustainable transport facilities
- Policy ASA3** – Parking standards

Supplementary Planning Guidance

- Supplementary Planning Guidance Note: Access For All
- Supplementary Planning Guidance Note: Affordable Housing
- Supplementary Planning Guidance Note: Conservation and Enhancement of Biodiversity
- Supplementary Planning Guidance Note: Parking Requirements In New Developments
- Supplementary Planning Guidance Note: Planning Obligations
- Supplementary Planning Guidance Note: Recreational Public Open Space
- Supplementary Planning Guidance Note: Residential Development
- Supplementary Planning Guidance Note: Residential Development Design Guide
- Supplementary Planning Guidance Note: Residential Space Standards
- Supplementary Planning Guidance Note: Trees & Landscaping

3.2 Government Policy / Guidance

- Planning Policy Wales (Edition 10) December 2018
- Development Control Manual November 2016
- Technical Advice Notes
- TAN 1: Joint Housing Land Availability Studies
- TAN 5: Nature Conservation and Planning
- TAN 12: Design
- TAN 18: Transport

3.3 Other material considerations

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Section 9.1.2 of the Development Management Manual (DMM) confirms the requirement that planning applications 'must be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise'. It advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned. The DMM further states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Section 9.4).

The DMM has to be considered in conjunction with Planning Policy Wales, Edition 10 (December 2018) and other relevant legislation.

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

- 4.1.1 Principle
- 4.1.2 Access
- 4.1.3 Appearance
- 4.1.4 Landscaping
- 4.1.5 Layout
- 4.1.6 Scale

Other Matters

4.2 In relation to the main planning considerations:

4.2.1 Principle

Policy BSC 1 states that new housing within the county is required to meet the needs of local communities and to meet projected population changes. In order to meet these needs the Local Development Plan has made provision for approximately 7,500 homes up to 2021.

The site is located within the development boundary of Rhuddlan and is an allocated housing site.

The principle of residential development has been established through the grant of outline permission in 2016 and is therefore not for deliberation at this stage.

It should also be noted that the Denbighshire County Council Corporate Plan (2017-2022) commits the Council to supporting the development of 1000 homes in the county over the next 4 years. This proposal would make a positive contribution to meeting that target, providing 99 new homes.

With respect to the comments of the Town Council, the matters they have raised relate primarily to the principle of the development which is not for consideration at this stage.

It is therefore suggested that the determination of this reserved matters application should rest on the acceptability or otherwise of the details presented, and in terms of the local impacts of the proposal.

4.2.2 Access

“Access” in relation to reserved matters, means the accessibility to and within the site for vehicles, cycles and pedestrians in terms of the positioning and treatment of access and circulation routes and how these fit into the surrounding access network
“Site” means the site or part of the site in respect of which outline planning permission is granted or, as the case may be, in respect of which an application for such permission has been made.

Local Development Plan Policy RD 1 supports development proposals subject to meeting tests (vii) and (viii) which oblige provision of safe and convenient access for a range of users, together with adequate parking, services and manoeuvring space; and require consideration of the impact of development on the local highway network.

Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards.

These policies reflect general principles set out in Planning Policy Wales (PPW 10) and TAN 18 – Transport, in support of sustainable development.

The Development Management Manual advises at paragraph 9.4.3 that material considerations must be fairly and reasonably related to the development concerned, and can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment; and the effects of a development on, for example, health, public safety and crime. The highway impacts of development should therefore be regarded as a potential material consideration.

Representations have been submitted relating to traffic generation and the impact on the local highway network.

Highway Officers have assessed the application and information submitted and have not raised any concerns in relation to the proposal in respect of impact and capacity of the local highway network, access and egress arrangements, pedestrian/cycle links and parking provision.

An initial Transport Assessment (TA) was submitted as part of the application which assessed the impact of the development on the proposed site access. However, Officers raised some queries in relation to the future capacity of the highway network due to the cumulative impact of proposed development sites (both committed and current applications) in the vicinity, as well as sites which are allocated in the Local Development Plan. The applicant has provided an additional 'Cumulative Transport Assessment' which includes the requested information and provides an assessment of the future capacity of the local highway network.

Having regard to the scale of the proposed development, the existing highways network and the submitted highways details, it is considered that the proposals would not have an unacceptable impact on the local highways network in terms of capacity.

With regard to the specific issue relating to the capacity of the A547, Highway Officers have carefully considered this matter. The Cumulative Transport Assessment shows that there is sufficient spare capacity on the local highway network to accommodate the proposed development, along with other committed, allocated and current planning applications in the vicinity, as the overall impact of future development in the area is well within acceptable levels of growth.

The general layout of the proposed site access arrangements demonstrate compliance with the visibility standards set out in TAN 18. The existing 30mph zone is also to be extended approximately 90m north-west of the proposed development access. This will encourage traffic to reduce their speed well in advance of the development access point.

In relation to the internal site layout and parking, having regard to the details provided and guidance identified above, it is considered that the highways arrangements and parking provision are acceptable and in accordance with SPG guidance.

In noting the concerns relating to impact on the local highway network, it is significant that the Highway Officer has no objections to the proposal subject to the agreement to final details and there are no concerns in respect of the adequacy of the local highway network.

It is not considered in the context of the Highway Officer's comments, and with respect to objections raised, that there are any strong highway grounds to refuse permission.

4.2.3 Appearance

"Appearance" means the aspects of a building or place within the development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

Concerns have been raised locally in respect of the visual impact of the proposal in relation to surrounding development.

In terms of design detailing for the new dwellings, the proposals involve use of several different house types with pitched tiled roofs of a relatively similar scale utilising materials of brickwork and render on the external faces of the walls.

The details proposed in relation to the proposed dwellings is considered acceptable and in keeping with nearby surrounding development.

4.2.4 Landscaping

“Landscaping” in relation to a site or any part of a site for which outline planning permission has been granted to, as the case may be, in respect of which an application for such permission has been made, means the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes:

- (a) screening by fences, walls or other means;
- (b) the planting of trees hedges, shrubs or grass;
- (c) the formation of banks, terraces or other earthworks;
- (d) the layout out or provision of gardens, courts, squares, water features, sculpture or public art; and
- (e) the provision of other amenity features.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

No concerns have been raised specifically in relation to landscaping issues.

In relation to soft landscaping, detailed proposals have been provided for each plot and the spaces around the properties with planting specifications.

In relation to hard landscaping all properties and parking areas would be paved with rear gardens provided with grass and patio areas.

In relation to boundary treatments, the dwellings would be provided with screen fencing in between the rear gardens of properties with hedgerows mainly defining the front garden spaces. As mentioned above a hedgerow would be retained along the A547.

The public open space is proposed on the eastern side of the site as there are some trees in this area which would be retained and the area would also serve as the soakaway for surface water drainage. The siting of the open space is accepted as it enables established trees to be retained and gives an outlook over the adjacent countryside thus giving an open outlook for users.

All hard and soft landscaping details proposed are considered acceptable and appropriate for the area to soften the visual appearance of the development, to protect the amenities of existing residents and provide a sufficient level of amenity for future occupiers of the proposed dwellings.

It is therefore considered that the landscaping of the development would be respectful of the location and complies with the relevant planning policy.

4.2.5 Layout

“Layout” means the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to building and spaces outside the development.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

Concerns have been raised locally in respect of visual appearance of the development.

The site area of the proposed residential development is approximately 3.39ha which equates to 29 dwellings per hectare. Policy RD1 suggests a density of 35 dwellings per hectare, however owing to the peripheral location of the site and character of existing nearby residential development the lower density is considered appropriate.

The proposal is for a mix of detached, semi-detached and terraced housing. All of the properties exceed minimum floorspace standards contained within SPG guidance and all properties are provided with rear garden spaces in excess of 40 square metres or 70 square metres for the larger properties, in compliance with SPG guidance.

In relation to spacing and separation distances between proposed dwellings and existing dwellings on Pentre Lane and Tirionfa, the development proposals meet or exceed the standards set out within SPG guidance.

Having regard to the relationship and distance of the proposed dwellings to each other, and existing dwellings on Pentre Lane and Tirionfa, the development proposals meet or exceed the spacing standards set out within SPG guidance and therefore in Officers' opinion the impact on these properties would be limited.

The layout of the site has been carefully considered to create a pleasant development which complies with Council policies and guidance. It is therefore considered that the layout of the development does not raise any planning policy concerns.

4.2.6 Scale

“Scale” means the height, width and length of each building proposed within the development in relation to its surroundings.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

In relation to surrounding development, overall it is considered that the submitted detail demonstrates an acceptable scale of development which is in keeping with the character of the area. It is therefore considered that the scale of the development would be respectful of the location.

Other matters

Affordable Housing:

Condition 6 on the outline planning permission requires approval of the affordable housing arrangements. This application indicates the intention to provide 10 affordable units on site, comprising a mix of 2 and 3 bed houses. Further details of the affordable housing provision, including tenure and timing of delivery requires separate approval and would be secured by a Section 106 legal agreement.

Open Space:

Condition 8 on the outline planning permission requires approval of the open space arrangements. This application indicates the intention to provide some public open space including a Local Equipped Area for Play (LEAP) on site. The applicant is aware of the open space requirements and the final detailed arrangements will require separate approval.

Education:

Condition 9 on the outline planning permission requires approval of the provision towards education facilities. This application indicates the intention to comply with this condition and the applicant is aware of the capacity issues in the local school and the need to contribute towards education facilities.

Drainage:

Condition 7 on the outline planning permission requires approval of the foul and surface water drainage (including roof water) details in connection with the development. This application indicates the intentions in relation to drainage, however the applicant is aware that the final detailed drainage arrangements will require separate approval.

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

- 5.1 The reserved matters details of access, appearance, landscaping, layout and scale of 99 dwellings are considered acceptable with no local adverse impacts on visual or residential amenity and highway safety.

RECOMMENDATION: APPROVE- subject to the following conditions:-

1. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission:
 - i. Oakley 3 Block - Plans & Elevations(Drawing No. MRH-OAK-PL01/PL02) - Received 17 September 2018

- ii. Oakley Semi - Plans & Elevations(Drawing No. MRH-OAK-PL01/PL02) - Received 17 September 2018
- iii. Warwick Semi - Plans & Elevations (Drawing No. MRH-WAR-PL01/PL02) - Received 17 September 2018
- iv. Huxley - Plans & Elevations (Drawing No. MRH-HUX-PL01/PL02) - Received 17 September 2018
- v. Kingsley - Plans & Elevations (Drawing No. MRH-KIN-PL01/PL02) - Received 17 September 2018
- vi. Kingsley - Plans & Elevations (OPP) (Drawing No. MRH-KIN-PL03/PL04) - Received 17 September 2018
- vii. Kingston - Plans & Elevations (inc Render) (Drawing No. MRH-KING-PL01/PL02/PL03) - Received 17 September 2018
- viii. Kingston - Plans & Elevations (inc Render) (OPP) (Drawing No. MRH-KING-PL04/PL05/PL06) - Received 17 September 2018
- ix. Ascot - Plans & Elevations (Drawing No. MRH-ASC-PL01/PL02) - Received 17 September 2018
- x. Ascot - Plans & Elevations (OPP) (Drawing No. MRH-ASC-PL03/PL04) - Received 17 September 2018
- xi. Heatherington - Plans & Elevations (Drawing No. MRH-HEAT-PL01/PL02) - Received 17 September 2018
- xii. Heatherington - Plans & Elevations (OPP) (Drawing No. MRH-HEAT-PL03/PL04) - Received 17 September 2018
- xiii. Wentworth - Plans & Elevations (inc Render) (Drawing No. MRH-WENT-PL01/PL02/PL03) - Received 17 September 2018
- xiv. Wentworth Plans & Elevations (OPP inc Render) (Drawing No. MRH-WENT-PL04/PL05/PL06) - Received 17 September 2018
- xv. Windsor - Plans & Elevations (inc Render) (Drawing No. MRH-WIND-PL01/PL02/PL03) - Received 17 September 2018
- xvi. Windsor - Plans & Elevations (OPP inc Render) (Drawing No. MRH-WIND-PL04/PL05/PL06) - Received 17 September 2018
- xvii. Edinburgh - Plans & Elevations (inc Render) (Drawing No. MRH-EDIN-PL01/PL02/PL03) - Received 17 September 2018
- xviii. Edinburgh - Plans & Elevations (OPP inc Render) (Drawing No. MRH-EDIN-PL04/PL05/PL06) - Received 17 September 2018
- xix. Wiltshire - Plans & Elevations (Drawing No. MRH-WILT-PL01/PL02) - Received 17 September 2018
- xx. Wiltshire - Plans & Elevations (OPP) (Drawing No. MRH-WILT-PL03/PL04) - Received 17 September 2018
- xxi. Single Garage Plans & Elevations (inc Render) (Drawing No. MRH-DG-01/02/02) - Received 17 September 2018
- xxii. Double Garage Plans & Elevations (inc Render) (Drawing No. MRH-DG-03/04/06) - Received 17 September 2018
- xxiii. Flood Consequences Assessment (Drawing No. NGR SJ 029 786) - Received 17 September 2018
- xxiv. Proposed Site Plan (Drawing No. MRH-SP01-COL B) - Received 17 September 2018
- xxv. Planting Plans (3 Pages) (Drawing No. P.1057.18.08 Rev B) - Received 15 January 2019
- xxvi. Proposed Site Plan (Drawing No. MRH-SP01 Rev H) - Received 15 January 2019
- xxvii. Location Plan (Drawing No. MRR-LP.01) - Received 4 September 2018
- xxviii. Transport Assessment - Received 4 September 2018
- xxix. Extended Phase 1 Habitat Survey - Received 15 January 2019
- xxx. Agricultural Land Classification - Received 4 September 2018
- xxxi. Arboricultural Impact Assessment - Received 4 September 2018
- xxxii. Landscape and Visual Impact Assessment - Received 4 September 2018
- xxxiii. Community and Linguistics Impact Assessment - Received 4 September 2018
- xxxiv. Design and Access Statement - Received 4 September 2018
- xxxv. Landscape Proposal (2 Pages) (Drawing No. P.1057.18.11 & 11B) - Received 15 January 2019
- xxxvi. Play Area (Drawing No. P.1057.18.13) - Received 4 September 2018
- xxxvii. Cumulative Transport Impact Assessment - Received 15 January 2019

- xxxviii. Ellesmere - Powys Floor Plans and Elevations (1 Page) - Received 15 January 2019
- xxxix. The Elwy Floor Plans and Elevations (1 Page) - Received 15 January 2019
- xl. The Henley Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- xli. The Henley (OPP) Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- xlii. The Kingsley Floor Plans and Elevations (4 Pages) - Received 15 January 2019
- xliii. The Kinnerton Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- xliv. The Lymm Floor Plans and Elevations (4 Pages) - Received 15 January 2019
- xlv. The Lymm (OPP) Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- xlvi. The Porthmadog Floor Plans and Elevations (4 Pages) - Received 15 January 2019
- xlvii. The Powys Floor Plans and Elevations (6 Pages) - Received 15 January 2019
- xlviii. The Stratford Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- xlix. The Stratford (OPP) Floor Plans and Elevations (3 Pages) - Received 15 January 2019
- I. Edinburgh - Elevations - Plot 52 (Drawing No. MRH-EDIN-PL05) received 19 February 2019
- li. Edinburgh - Floor Plans - Plot 52 (Drawing No. MRH-EDIN-PL04) received 19 February 2019
- lii. Ascot - Elevations - Plot 99 (Drawing No. MRH-ASC-PL04) received 19 February 2019
- liii. Ascot - Floor Plans - Plot 99 - MRH-ASC-PL03) received 19 February 2019
- liv. Wiltshire - Elevations - Plot 75 (Drawing No. MRH-WILT-PL04) received 19 February 2019
- lv. Wiltshire - Floor Plans - Plot 75 (Drawing No. MRH-WILT-PL03) received 19 February 2019
- lvi. Indicative Street -Scene (Drawing No. MRH-SS.01) received 19 February 2019
- 2. Prior to the application of any external materials full details of the wall and roof materials of the dwellings shall be submitted to and approved in writing by the Local Planning Authority. The development shall proceed in strict accordance with such approved details.
- 3. All planting comprised in the approved details of landscaping shall be carried out no later than the first planting and seeding season following the commencement of development. Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless otherwise agreed in writing.
- 4. PRE-COMMENCEMENT
No development shall be permitted to commence until the detailed layout, design, means of traffic calming, street lighting, signing, drainage and construction of the internal estate road/and access to the site, extension of existing 30mph zone, footway links and associated highway works has been submitted to and approved in writing by the Local Planning Authority. The scheme shall proceed in accordance with such approved details.
- 5. The visibility splays shown on the approved plans shall at all times be kept free of any planting, tree or shrub growth, or any other obstruction in excess of 0.6 metres above the level of the adjoining carriageway

The reasons for the conditions :-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. In the interests of visual amenity.
3. In the interest of visual amenity.
4. In the interest of the free and safe movement and traffic on the adjacent highway and to ensure the formation of a safe and satisfactory access.
5. To ensure that adequate visibility is provided at the proposed point of access to the highway.